

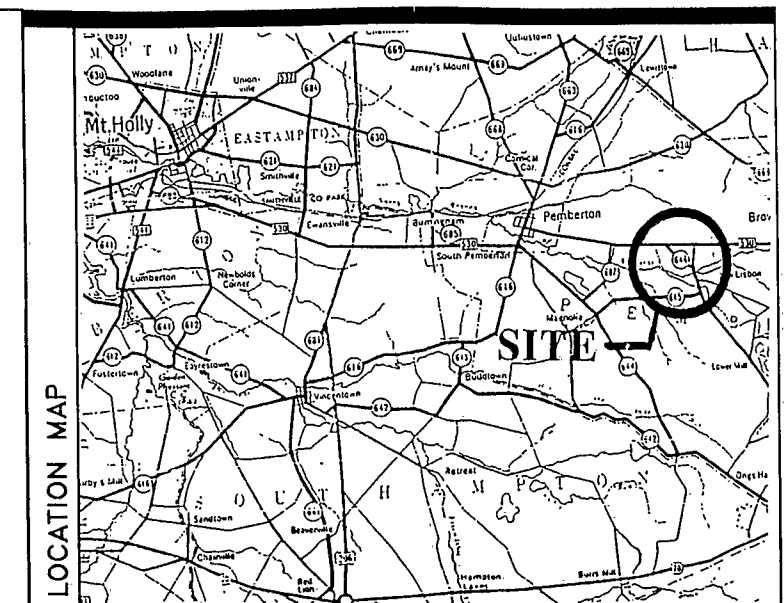
<u>BUILDING DATA:</u>	
LOT NUMBER: 1	
BLOCK NUMBER: 846	
USE GROUP: B	
CONSTRUCTION CLASSIFICATION: 5B (EXISTING)	
<u>BUILDING AREA:</u>	
FIRST FLOOR:	2,665 S.F.
SECOND FLOOR:	2,319 S.F.
BASEMENT:	903 S.F.
TOTAL :	5,887 S.F.
<u>BUILDING AREA TO BE RENOVATED:</u>	
FIRST FLOOR:	772 S.F. (29.0% OF FLOOR)
SECOND FLOOR:	0 S.F. (0.0% OF FLOOR)
BASEMENT:	200 S.F. (22.1% OF FLOOR)
TOTAL :	972 S.F. (16.5% OF BUILDING)

HONORABLE CHRISTINE TODD WHITMAN, GOVERNOR

DBC NO. P0770-00

GENERAL SERVICES ADMINISTRATION

DIVISION OF BUILDING AND CONSTRUCTION
RUSSELL R. HART, DIRECTOR
PAUL STAUDT, JR., R.A., STATE ARCHITECT



1. DO NOT SCALE DRAWINGS.
2. ALL WORK TO BE DONE IN ACCORDANCE WITH NEW JERSEY UNIFORM CONSTRUCTION CODE, NATIONAL STANDARD PLUMBING CODE, AND NATIONAL ELECTRIC CODE. BARRIER FREE DESIGN SHALL COMPLY WITH SUBCHAPTER 7 OF NEW JERSEY UNIFORM CONSTRUCTION CODE, CHAPTER 11 OF BOCA, AND CABO/ANSI A117.1-1992.

	NORTH ARROW		METAL (SMALL SCALE)
	EARTH		INSULATION
	GRAVEL (SECTION)		ROUGH WOOD
	BITUMINOUS PAVING		FINISHED WOOD
	CONCRETE		PLYWOOD
	RIGID INSULATION PANEL WITH INVALUABLE BASE		ACOUSTICAL TILE
	CONCRETE MASONRY UNIT		GYPSUM WALLBOARD
	STEEL		TILE ON CONCRETE

Project
BARRIER FREE RENOVATIONS
FOR
PINELANDS COMMISSION OFFICE
NEW LISBON, NEW JERSEY

Lammy
& Giorgio

Architecture • Planning

118 Kings Highway West
Haddonfield, NJ 08033
609-428-0445

William P. Lammy AIA • NJ C6793
Anthony R. Giorgio AIA • NJ 07626

TITLE SHEET

L & G No.	96525	Drawing No.	
DBC No.	P0770-00		
Date	11 OCTOBER 1996		
Rev.	18 NOVEMBER 1996		
Rev.	13 DECEMBER 1996		
		Sheet	1 of 6

ABV	ABOVE	E	EXISTING TO REMAIN
AC	ACQUAINT	EA	EXIST/REMAINT
ACQ	ACQUISITION	ET	ENTERING TO TEMPERATURE
ACT	ACTUAL	ELEC	ELECTRIC (W/ PANELBOARD)
AD	ADJACENT	EP	ELECTRIC (W/ PANELBOARD)
ADR	ADDRESS	EWG	ELECTRIC WATER COOLER
A/C	AIR CONDITIONING	ELEV	ELEVATOR
ALUM	ALUMINUM	EQU	EQUIPMENT
ANCH	ANCHOR, ANCHORAGE	EXH	EXHAUST
AND	AND/USED	EXH	EXHAUST FAN
APPR	APPROXIMATE	EXT	EXTERNAL STATIC PRESSURE
ARCH	ARCHITECT (ORAL)	EXIST	EXISTING
		EXP	EXPLOSION
BSMT	BASEMENT	EXT	EXTERIOR
BW	BEARING		
BWT	BETWEEN	FD	FLOOR DRAIN
BVL	BOLTED	FIN	FINISHED FLOOR
BWP	BOLTS	FLNG	FLASHING
BLK	BITUMINOUS	FLR	FLOOR/FLOORING
BLK	BLACK	FLUR	FLUORESCENT
BLO	BLOCKING	FT	FOOT/FEET
BLD	BOARD	FTG	FOOTING
BLO	BOTTOM OF	FOUND	FOUNDATION
BUL	BUILDING	FP	FEET PER MINUTE
CSMT	COLD CONDENSATE DRIP PIPING	FRM	FRAME/FRAMING
CS	CASEMENT	GV	GAGE VERIFY
CS	CASTING	GA	GAGE/GAUGE
CLD	CEILING	GLV	GLAZING
CLD	CEILING HEIGHT	GL	GENERAL CONTRACTOR
CM	CEMENT	GR	GROUND/GRUBBED
CF	CENTER LINE	GS	GLASS/GLAZING
CFR	CERAMIC TILE	GPM	GALLONS PER MINUTE
CH	CHANCE	GRD	GRADE/GRADING
CH	CLEAN OUT		
CH	CH	HS	HOSIERY
CONC	CONCRETE	HW	HARDWARE
CONC	CONCRETE MASONRY UNIT	HW	HARDWOOD
CONSTR	CONSTRUCTION	HD	HEADER
CONSTR	CONSTRUCTION OR CONTINUE	HEAT	HEATING
CONTR	CONTRACTOR(OR)	HVAC	HEATING/VENTILATING/AIR COND.
CONTR	CONTRIBUTOR	HT	HEATING
CPR	CENTER	HML	HOLLOW METAL
CFT	CUBIC FEET	HORIZ	HORIZONTAL
CFT	CUBIC FEET/MINUTE	HP	HORSE POWER
CFM	COLD WATER	HT	HOT TEMPERATURE WATER
CYD	CYD YARD	HW	HOT WATER
		HW	HOT WATER
		HW	HOT WATER REHEAT
		HW	HOT WATER SUPPLY
D	DEEP/DEPTH		
DEM	DEMOLISH/DEMOLITION		
DEPR	DEPRESSED		
DET	DETAIL		
DWG	DIMENSIONAL		
DWM	DIAMETER		
DM	DIMENSION		
DM	DIVISION		
DN	DOWN		
DR	DOOR		
DR	DOUBLE HUNG		
DS	DOWNSPOUT		
DWG	DRAWING		

[illegible]

R	REMOVE
RAD	RADIUS
REF	REFERENCE
REFL	REFLECTOR
REFR	REFRIGERATOR
REIN	REINFORCEMENT/REINFORCING
RESL	RESILIENT
REV	REVERSED/REVERSED
RH	RIGHT HAND
RTO	ROOFING
RM	ROOM
RO	ROUGH OPENING
RPM	REVOLUTIONS PER MINUTE
R/S	REINFORCED SUCTION LINE
SAN	SANITARY DRAIN
SEC	SECTION
SFC	SHEET
SHT	SHEET
SQ	SQUARE
SQ	SQUARE INCH
SF	SQUARE FOOT
SQ	SQUARE YARD
SS	SERVICE SINK
STD	STANDARD
STL	STEEL
STR	STRUCTURAL
SUSP	SUSPENDED
T	TOTAL DYNAMIC HEAD
THK	THICK/THICKNESS
TLT	TOLLE
TOP	TOP OF
TR	TRIAL
UV	ULTRAVIOLET
VD	VOLUME DAMPER
VERT	VERTICAL
VCT	VINYL COMPOSITION TILE
VCT	VINYL TILE
VTR	VENT THROUGH ROOF
WT	WET BULB TEMPERATURE
WH	WATER HEATER
WASH	WASH TUB
WSCOT	WATERCLOSET
W	WATER CLOSET
WWF	WELDED WIRE FABRIC
W	WITHIN
WINDW	WINDOW
W	WITHOUT
W	WOOD
W	WEATHERPROOF
YD	YARD(S)

Figure 10 shows three symbols used in the diagrams. The top symbol is a circle with a cross inside, representing a building. The middle symbol is a circle with a cross inside, representing a wall. The bottom symbol is a diamond with a cross inside, representing an elevation. Each symbol has a line pointing to it from the right.

 LEVEL LINE

 INDICATES DIRECTION OF CUTTING PLANE

 ALPHA-NUMERIC INDICATES LOCATION OF BUILDING SECTION

 DRAWING NUMBER WHERE SECTION IS LOCATED (TYPICAL)

 BUILDING SECTION

 ALPHA-NUMERIC INDICATES LOCATION OF WALL SECTION

 SECTION

 ALPHA-NUMERIC INDICATES LOCATION OF ELEVATION

 SECTION

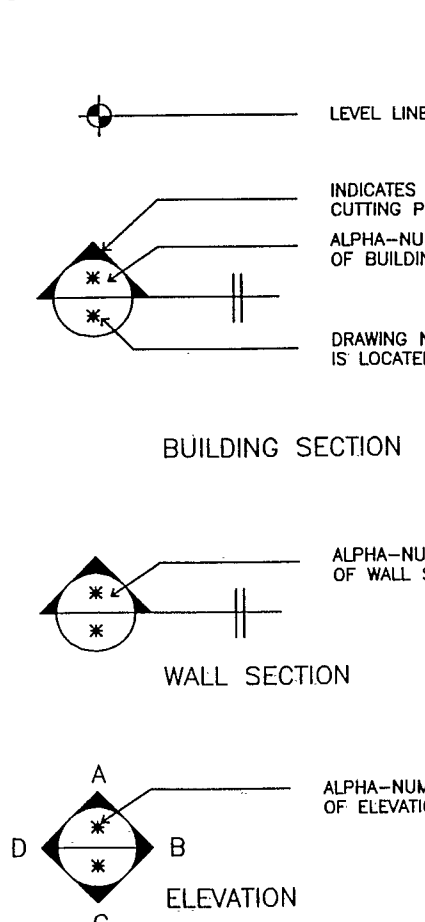
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LOCATION

NOTE

PREPARED
CONSTRUCTION
SS OF
MOBILE
BC

CONVENTIONS



LEVEL LINE

INDICATES DIRECTION OF CUTTING PLANE

ALPHA-NUMERIC INDICATES LOCATION OF BUILDING SECTION

DRAWING NUMBER WHERE SECTION
IS LOCATED (TYPICAL)

BUILDING SECTION

ALPHA-NUMERIC INDICATES LOCATION OF WALL SECTION

WALL SECTION

ALPHA-NUMERIC INDICATES LOCATION
OF ELEVATION

ELEVATION

- ALPHA-NUMERIC INDICATES LOCATION OF DETAIL

DETAILS

SECTION _____
0"

DIMENSION: TO EACH

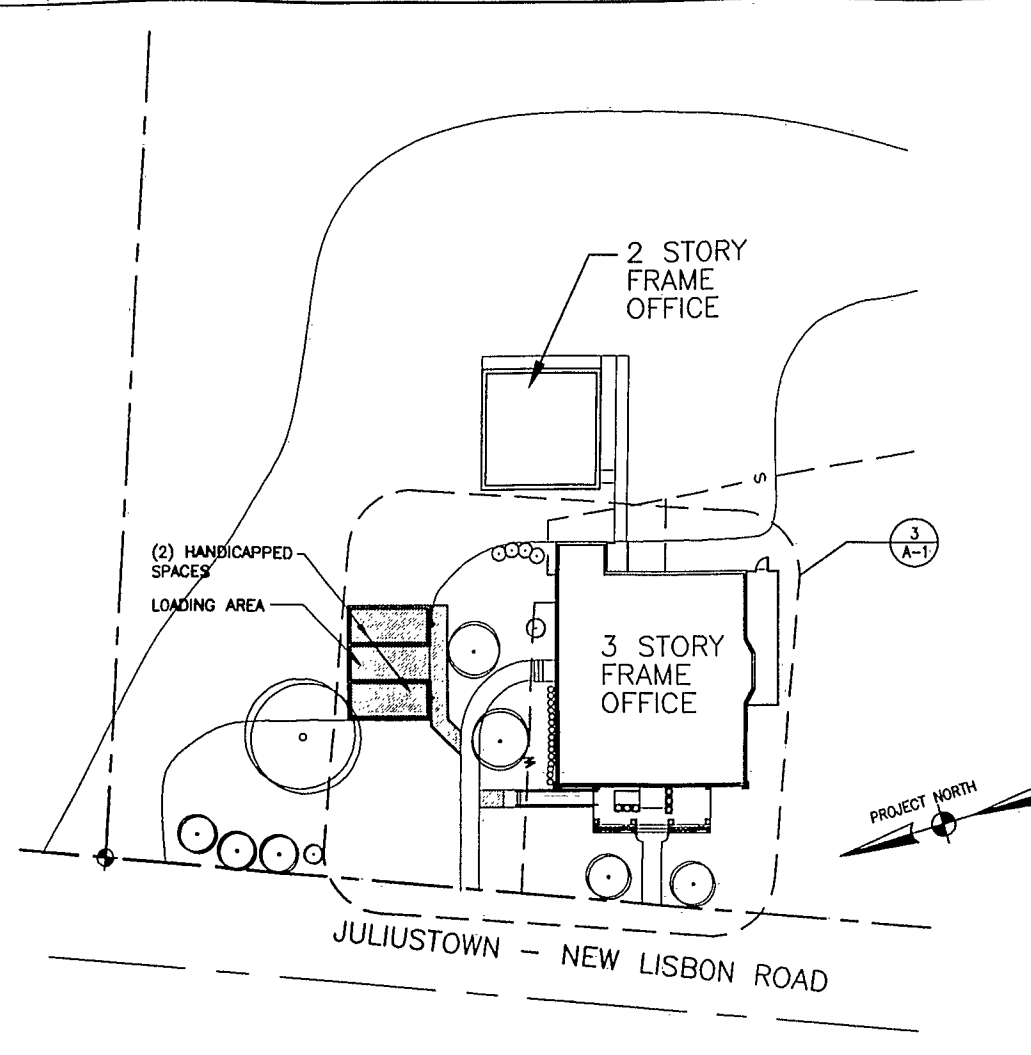
DIMENSION TO CENTERLINE

—DIVISION NUMBER
—NOTE IDENTIFIER
—NOTE

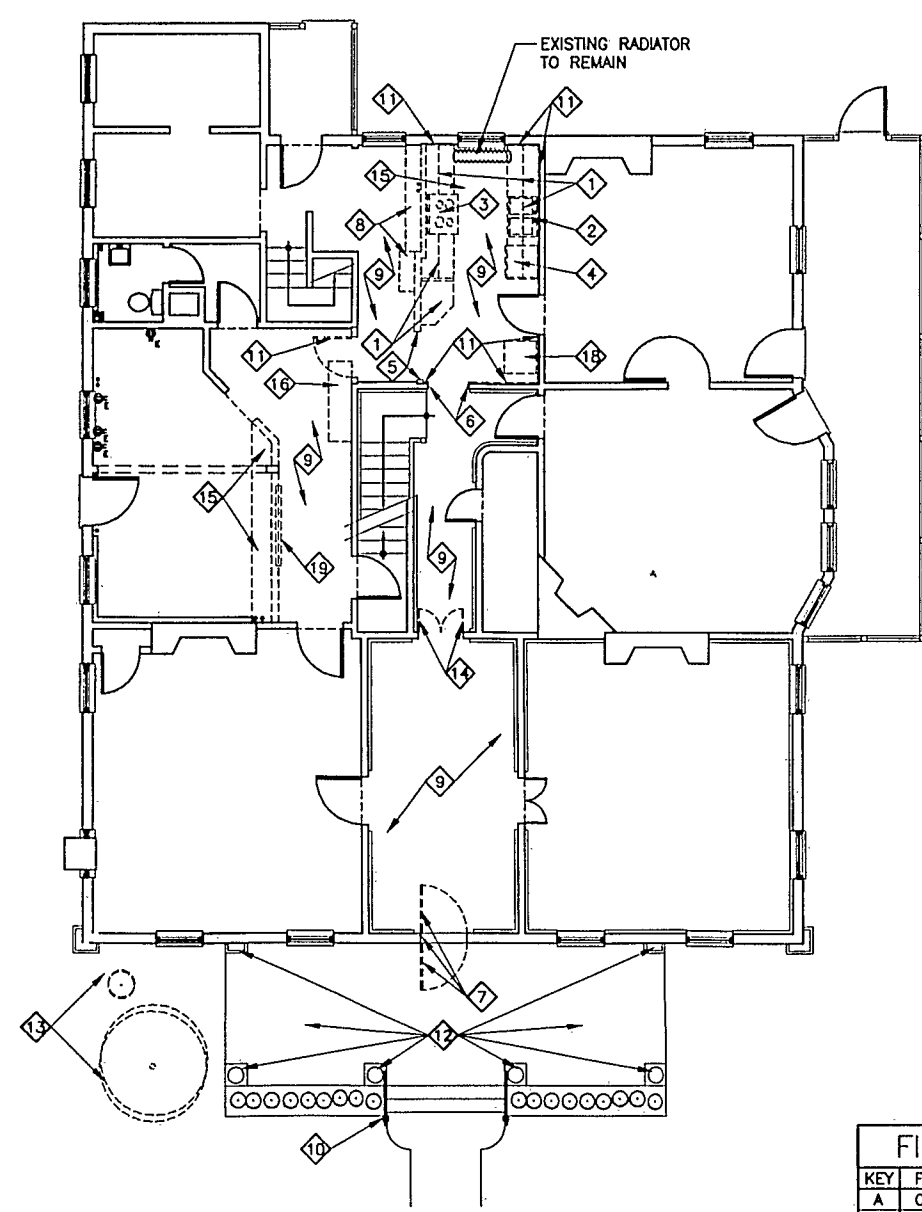
ER		WINDOW TYP
R		DOOR NUMB

RECORD DOCUMENT NOTE

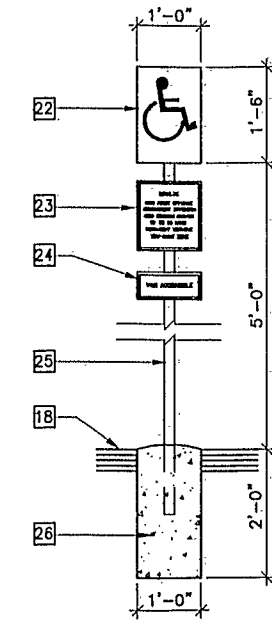
RECORD DOCUMENTS - 12/30/97



1 LOCATION PLAN
A-1 SCALE 1"=30'-0"



2 DEMOLITION PLAN
A-1 SCALE 1/8"=1'-0"



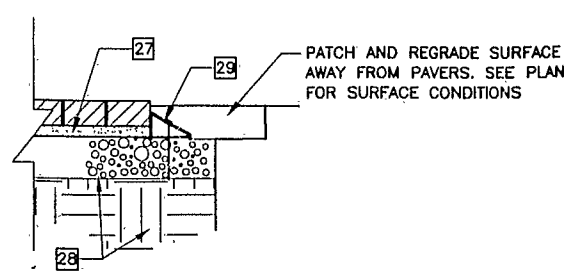
4 HANDICAPPED PARKING SIGN
A-1 SCALE 1/2"=1'-0"

SIGN SCHEDULE			
NO.	COPY	LOCATION	MOUNTING HT.
1	1	PORCH/107	5'-4"
2	1	CONFERENCE ROOM	5'-4"
3	1	TOILET ROOM	5'-4"
4	1	BREAK ROOM	5'-4"

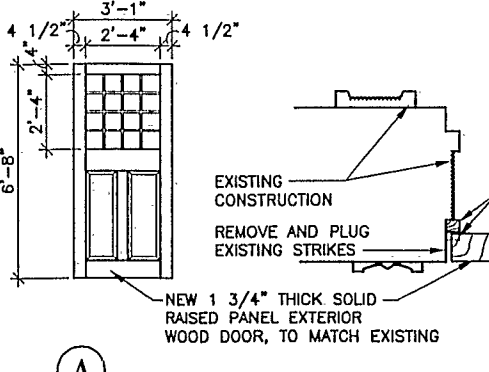
LEGEND

- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- NEW 3 1/2" WOOD STUDS @ 16" O.C. WITH 5/8" PLASTER VENEER GYPSUM BASE AND VENEER PLASTER FINISH ON BOTH SIDES AND SOUND ATTENUATION BLANKETS, UNLESS OTHERWISE NOTED. PROVIDE 1 HR. WALL CONSTRUCTION (UL NO. U305). EXTEND TO UNDERSIDE OF FLOOR/CEILING STRUCTURE.

FINISH SCHEDULE					
KEY	FLOOR	BASE	WALLS	WALL FIN.	CEILING
A	CERAMIC TILE	CERAMIC TILE	GYPSUM BASE	PLASTER VENEER & PAINT	PATCH & PAINT
B	CARPET	WOOD	GYPSUM BASE	PLASTER VENEER & PAINT	PATCH & PAINT
C	CARPET	EXISTING	EXISTING	EXISTING	EXISTING
D	CARPET	WOOD/EXISTING	G.B./EXISTING	PLASTER VENEER, PATCH & PAINT	PATCH & PAINT
E	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
F	PATCH & PAINT	-	-	-	PREPARE & PAINT
G	VOT	WOOD/EXISTING	G.B./EXISTING	PLASTER VENEER, PATCH & PAINT	PAINT



5 PAVER DETAIL
A-1 SCALE 1"=1'-0"



A DOOR AND BUCK TYPES

GENERAL NOTES

1. PATCH ALL EXISTING WALLS ADJACENT TO WORK. PREPARE WALLS TO BE PAINTED.
2. PROVIDE NEW VINYL REDUCER STRIPS AT ALL LOCATIONS WHERE NEW CARPET MEETS EXISTING CARPET AT DOOR THRESHOLDS.

DEMOLITION NOTES

1. REMOVE EXISTING COUNTERS AND CABINETS.
2. REMOVE EXISTING SINK. SEE DETAIL 1/ME-1 FOR ADDITIONAL INFORMATION.
3. REMOVE EXISTING RANGE. SEE DETAIL 1/ME-1 FOR ADDITIONAL INFORMATION.
4. REMOVE EXISTING DISHWASHER. SEE DETAIL 1/ME-1 FOR ADDITIONAL INFORMATION.
5. REMOVE EXISTING DOOR AND FRAME. SAVE DOOR AND DOOR MOULDING FOR REUSE.
6. REMOVE EXISTING DOOR STOPS. PREPARE DOOR FRAME AND MOULDING TO BE PAINTED ON BOTH SIDES.
7. REMOVE EXISTING SCREEN DOOR AND REMOVE AND SALVAGE EXTERIOR DOOR. REMOVE AND REPLACE DOOR STOPS TO ACCOMMODATE NEW 1 3/4" THICK EXTERIOR DOOR. SEE DETAIL 1/ME-1 FOR ADDITIONAL INFORMATION ON THIS DRAWING. NOTE: EXISTING DOOR HARDWARE SHALL BE GIVEN TO STATE FOR SALVAGE.
8. REMOVE EXISTING SHELVE.
9. REMOVE EXISTING FLOOR FINISH. PREPARE FLOOR TO RECEIVE NEW FLOOR FINISH. INSTALL 1/4" PLYWOOD UNDERLAYMENT AS NEEDED.
10. RESET EXISTING RAILING POST. PREPARE GROUND FOR RESETTING OF RAILING POST.
11. REMOVE EXISTING LATH AND PLASTER FROM WALL. PREPARE WALL TO RECEIVE NEW GYPSUM BASE AND PLASTER VENEER FINISH.
12. PREPARE EXISTING PORCH, COLUMNS, AND PLASTER AT PORCH TO BE PAINTED.
13. REMOVE EXISTING PLANTINGS AND SHRUBS. REGRADE AND RESEED AS NECESSARY.
14. REMOVE EXISTING DOOR. SALVAGE BY OWNER.
15. REMOVE EXISTING CEILING TILES. PREPARE EXISTING CEILING TO RECEIVE NEW GYPSUM BASE AND PLASTER VENEER FINISH.
16. REMOVE PORTION OF EXISTING SUBFLOOR TO ALLOW ACCESS FROM CRAWLSPACE TO BASEMENT FOR NEW PLUMBING LINES TO KITCHEN UNIT.
17. REMOVE EXISTING WOOD DOOR STOP. INSTALL NEW 3/4" WOOD DOOR STOP.
18. REMOVE EXISTING REFRIGERATOR.
19. RELOCATE EXISTING BASEBOARD HEATER.

KEYNOTES

1. NEW WOOD RAMP (SLOPE 1:12), HANDRAILS, AND POSTS ON CONCRETE PIERS.
2. NEW CONCRETE PAVERS. (COLOR 'A')
3. NEW ACCENT CONCRETE PAVERS. (COLOR 'B')
4. NEW WOOD RAISED PORCH. PAINTED.
5. NEW WOOD PLASTER BOX. PAINTED.
6. NEW HANDICAPPED WATER CLOSET. SEE DETAIL 2/ME-1 FOR ADDITIONAL INFORMATION.
7. NEW BASE AND WALL CABINETS WITH PLASTIC LAMINATE COUNTERTOP AND 4 INCH HIGH BACKSPLASH.
8. NEW HANDICAPPED LAVATORY. SEE DETAIL 2/ME-1 FOR ADDITIONAL INFORMATION.
9. NEW HANDICAPPED ELECTRIC WATER COOLER. SEE DETAIL 2/ME-1 FOR ADDITIONAL INFORMATION.
10. NEW SINK. SEE DETAIL 2/ME-1 FOR ADDITIONAL INFORMATION.
11. NEW ASSISTED LISTENING TRANSMITTER AND RECEIVER, BY OWNER.
12. EXISTING RADIATOR TO REMAIN.
13. PROVIDE POST TO SUPPORT CANTILEVERED HEADER.
14. BOX OUT RADIATOR WITH NEW WOOD SHELF AND METAL GRILLE.
15. NEW 24 INCH WIDE PLASTIC LAMINATE COUNTERTOP WITH 4 INCH HIGH BACKSPLASH AND 12" DEEP FIXED SHELVES WITH SUPPORTS @ 32" O.C. SEE DETAIL 4/A-3.
16. PATCH AND REGRADE EXISTING GRAVEL PARKING AREA AWAY FROM PAVERS.
17. NEW 4 INCH THICK BROOMED FINISH CONCRETE SLOPED WALK.
18. REGRADE AND RESEED ALL DISTURBED AREAS AND EXISTING PATHWAY.
19. EXISTING BRICK PAVERS TO REMAIN.
20. EXISTING TREE TO REMAIN.
21. NEW HANDICAPPED SIGN AND POST.
22. NEW METAL "R7-8" PARKING SIGN.
23. NEW METAL "R7-8P" HANDICAPPED PARKING PENALTY SIGN.
24. NEW METAL "VAN ACCESSIBLE" SIGN.
25. NEW METAL SIGN POST.
26. NEW 12 X 24 INCH CONCRETE FOOTING.
27. NEW 1 INCH SAND BED.
28. NEW 2 INCH COMPACTED CRUSHED STONE BASE ON COMPACTED SUBGRADE.
29. NEW PAVING EDGE. BRING GRADE OVER EDGE TO BUTT AGAINST PAVERS.
30. RELOCATED BASEBOARD HEATER.

Project
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Drawing

FLOOR PLANS

L & G No. 96525

Drawing No.

DBC NO. P0770-00

Date 11 OCTOBER 1996

Rev. 18 NOVEMBER 1996

Rev. 13 DECEMBER 1996

A-1

Sheet 2 of 5

RECORD DOCUMENT NOTE

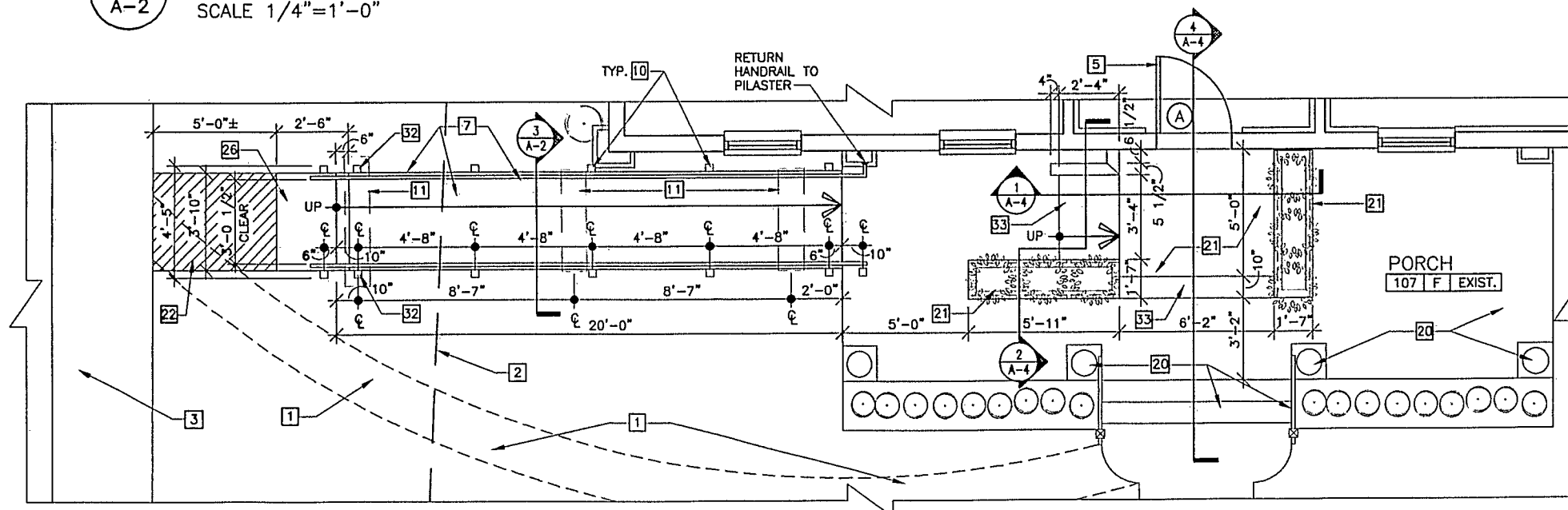
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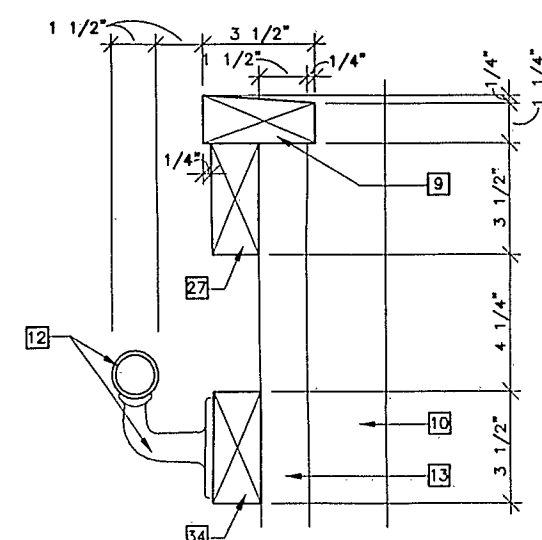
3 FLOOR PLAN
A-1 SCALE 1/8"=1'-0"



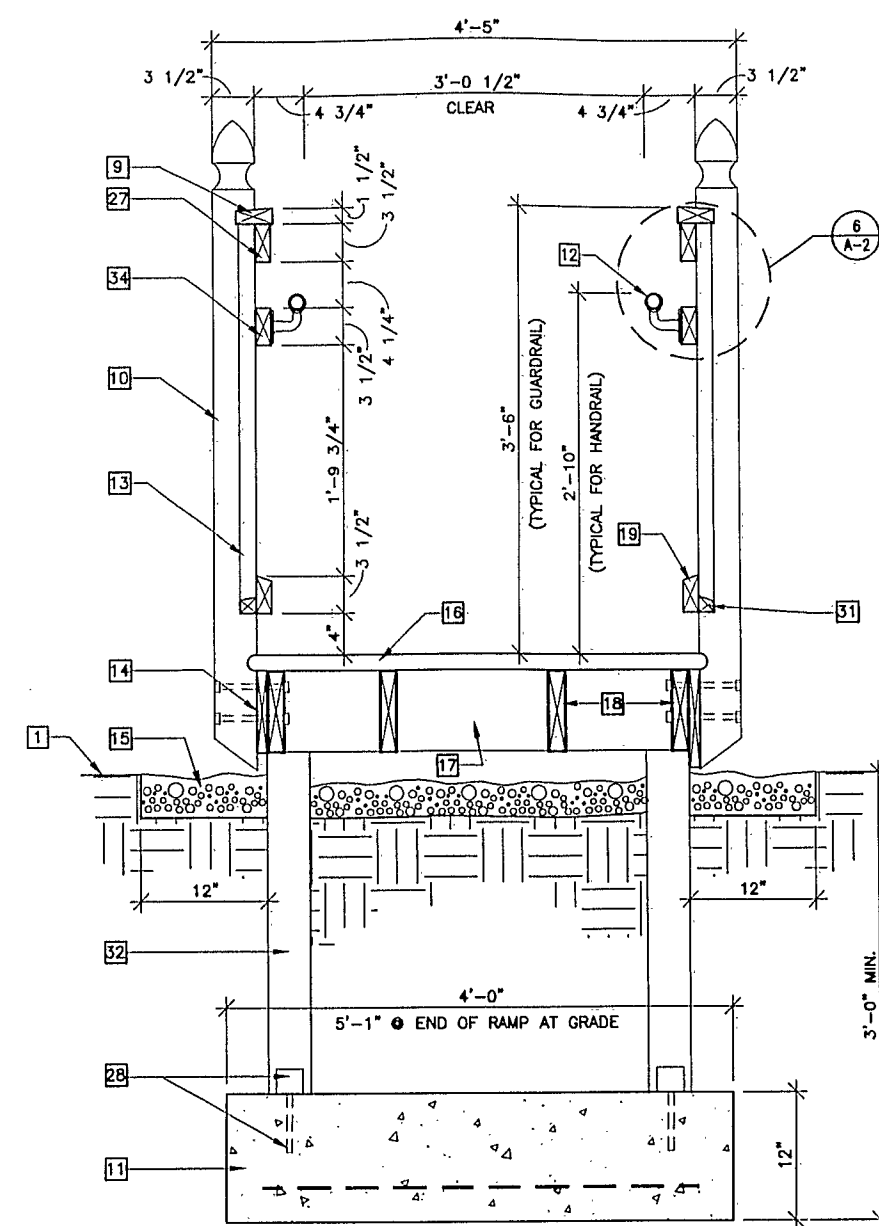
1 FRONT ELEVATION
A-2 SCALE 1/4"=1'-0"



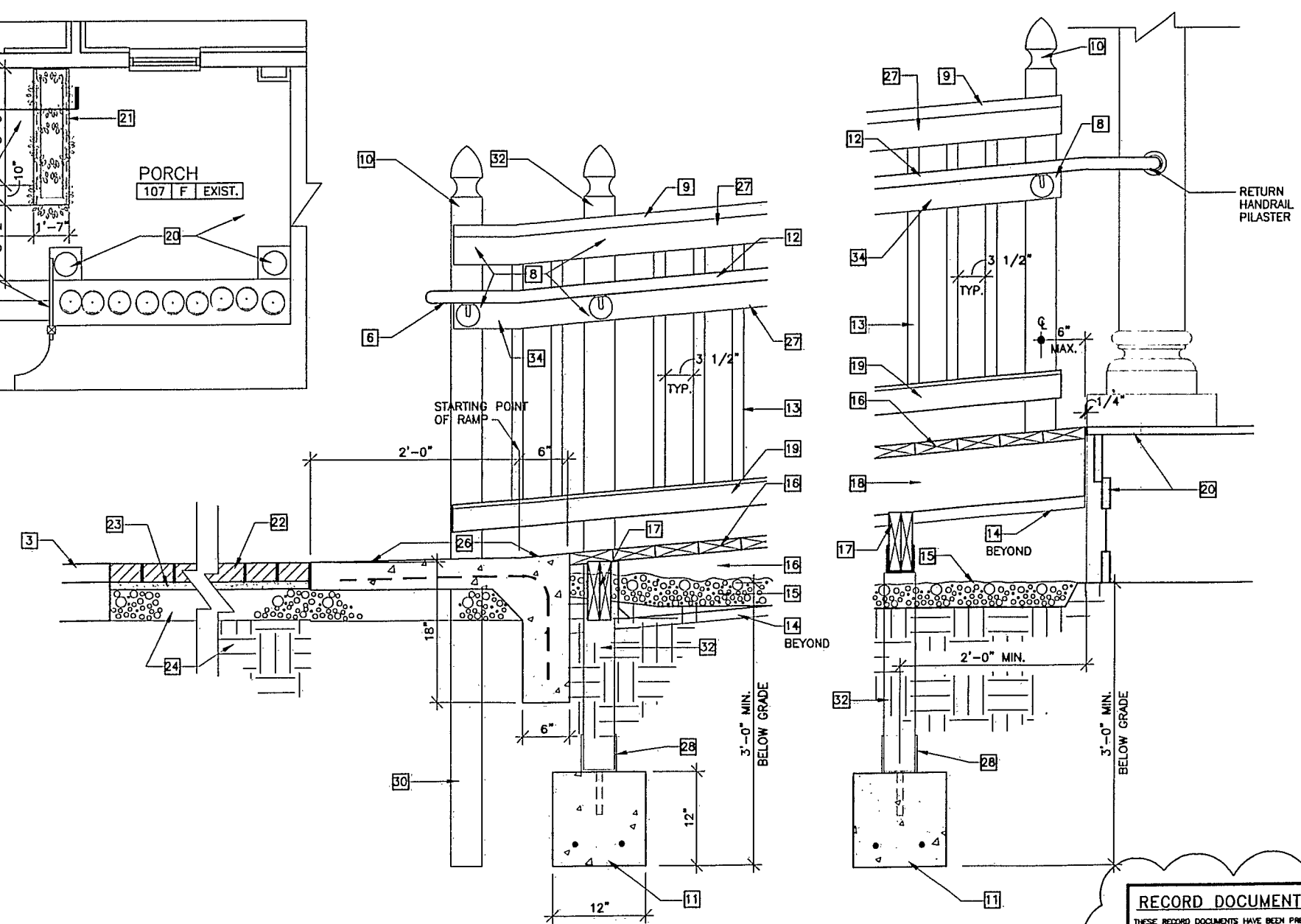
2 ENLARGED PLAN @ RAMP
A-2 SCALE 1/4"=1'-0"



6 HANDRAIL DETAIL
A-2 SCALE 3"=1'-0"



3 SECTION @ RAMP
A-2 SCALE 1"=1'-0"



5 SECTION @ RAMP
A-2 SCALE 1"=1'-0"

4 SECTION @ RAMP
A-2 SCALE 1"=1'-0"

KEYNOTES

- 1 RESEED AND REGRADE ALL DISTURBED AREAS AND EXISTING PATHWAY.
- 2 EXISTING WATER LINE.
- 3 EXISTING BRICK PAVEMENT SIDEWALK.
- 4 NEW HANDICAPPED SIGN. SEE SPECIFICATIONS FOR TYPE AND QUANTITY.
- 5 NEW DOOR. SEE DRAWING A-1 FOR ADDITIONAL INFORMATION.
- 6 EXTEND HANDRAIL 12 INCHES BEYOND TOP AND BOTTOM OF RAMP. RUN PARALLEL TO GROUND.
- 7 NEW WOOD RAMP, HANDRAILS, AND PICKETS. SLOPE 1:12 MAXIMUM.
- 8 FASTEN BOARD TO POST WITH 3/8 X 4 INCH LAG BOLT. COUNTERSINK BOLT.
- 9 NEW 2 X 4 WOOD CAP. SAWCUT TO SLOPE AWAY FROM RAMP.
- 10 NEW 4 X 4 INCH PRESSURE TREATED WOOD HANDRAIL POST BOLTED THRU WOOD SKIRT TO WOOD JOIST. COUNTERSINK BOLTS INTO POST AT RAMP.
- 11 NEW 12 INCH SQUARE X 4 FOOT WIDE CONCRETE FOOTING WITH (2) #3 CONTINUOUS REINFORCING BARS.
- 12 NEW 1-1/2 INCH METAL HANDRAIL AND METAL BRACKET.
- 13 NEW 2 X 2 WOOD PICKETS AT 5 INCHES ON CENTER. OMIT AT POSTS.
- 14 NEW 1 X 10 PRESSURE TREATED SKIRT BOARD.
- 15 NEW 3/8 INCH CRUSHED RED STONE - 3 INCH THICK ON 6 MIL WEED BLOCK FABRIC.
- 16 NEW 5/4 X 6 INCH PRESSURE TREATED WOOD DECKING.
- 17 NEW (2) 2 X 8 INCH PRESSURE TREATED WOOD ORDER.
- 18 NEW 2 X 8 INCH PRESSURE TREATED WOOD JOIST @ 16" O.C.
- 19 NEW 2 X 4 INCH WOOD BOTTOM RAIL, SLOPE TOP.
- 20 EXISTING CONSTRUCTION. PAINT.
- 21 NEW WOOD PLANTER AND RAISED PORCH. SEE DRAWING A-4 FOR ADDITIONAL INFORMATION.
- 22 NEW CONCRETE PAVEMENT. SEE PLAN 3/A-1 FOR PAVEMENT LAYOUT.
- 23 NEW 1 INCH SAND BED.
- 24 NEW 4 INCH COMPACTED CRUSHED STONE BASE ON COMPACTED SUBGRADE.
- 25 NEW PAVING EDGE. BRING GRADE OVER EDGE TO BUTT AGAINST PAVERS.
- 26 NEW 4 INCH THICK CONCRETE SLOPED WALK WITH 6X6 INCH 10/10 W.W.F. ON 4 INCH CRUSHED STONE BASE. SLOPE LAST 6 INCHES OF WALK TO INTERGRATE WITH NEW WOOD RAMP. SLOPE 1:12 MAXIMUM.
- 27 NEW 2 X 4 WOOD TOP RAIL.
- 28 NEW METAL POST BASE PLATE AND ANCHOR.
- 29 NEW METAL POST ANCHOR. BOLT TO EXISTING PORCH.
- 30 SINK POST 3'-0" MINIMUM BELOW GRADE.
- 31 NEW 2 X 2 INCH WOOD TRIM, SLOPE TOP.
- 32 NEW 4 X 4 INCH PRESSURE TREATED WOOD RAMP POST ATTACHED TO WOOD ORDER.
- 33 NEW MODULAR RAMP THRESHOLD TO PROVIDE SMOOTH TRANSITION TO PORCH.
- 34 NEW 2 X 4 WOOD RAIL, ANCHOR HANDRAILS TO RAILING.

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Drawing

**EXTERIOR ELEVATION,
ENLARGED PLAN,
AND SECTIONS**

L & G No. 96525

Drawing No.

DBC NO. P0770-00

Date 11 OCTOBER 1996

Rev. 18 NOVEMBER 1996

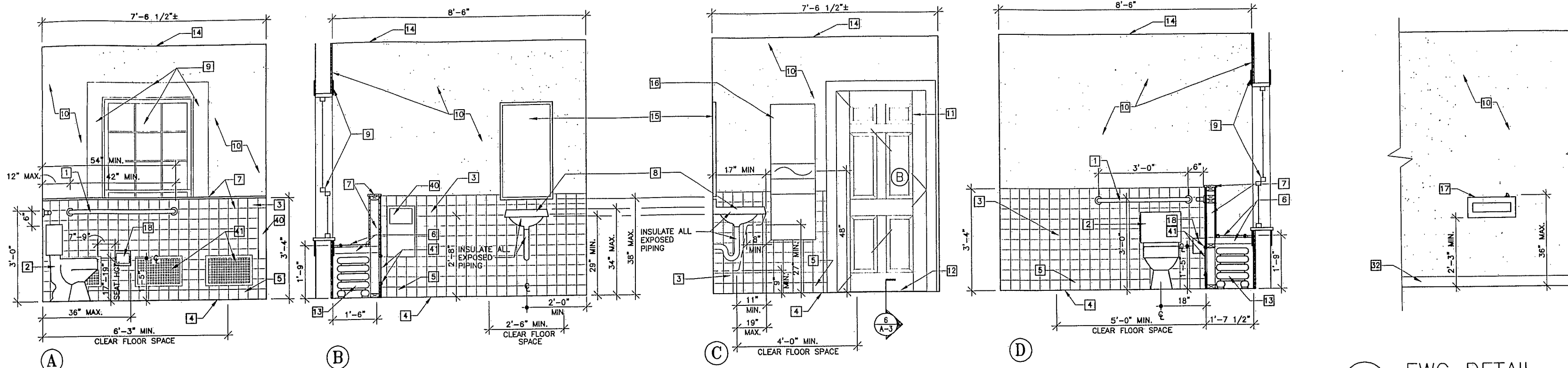
Rev. 13 DECEMBER 1996

A-2

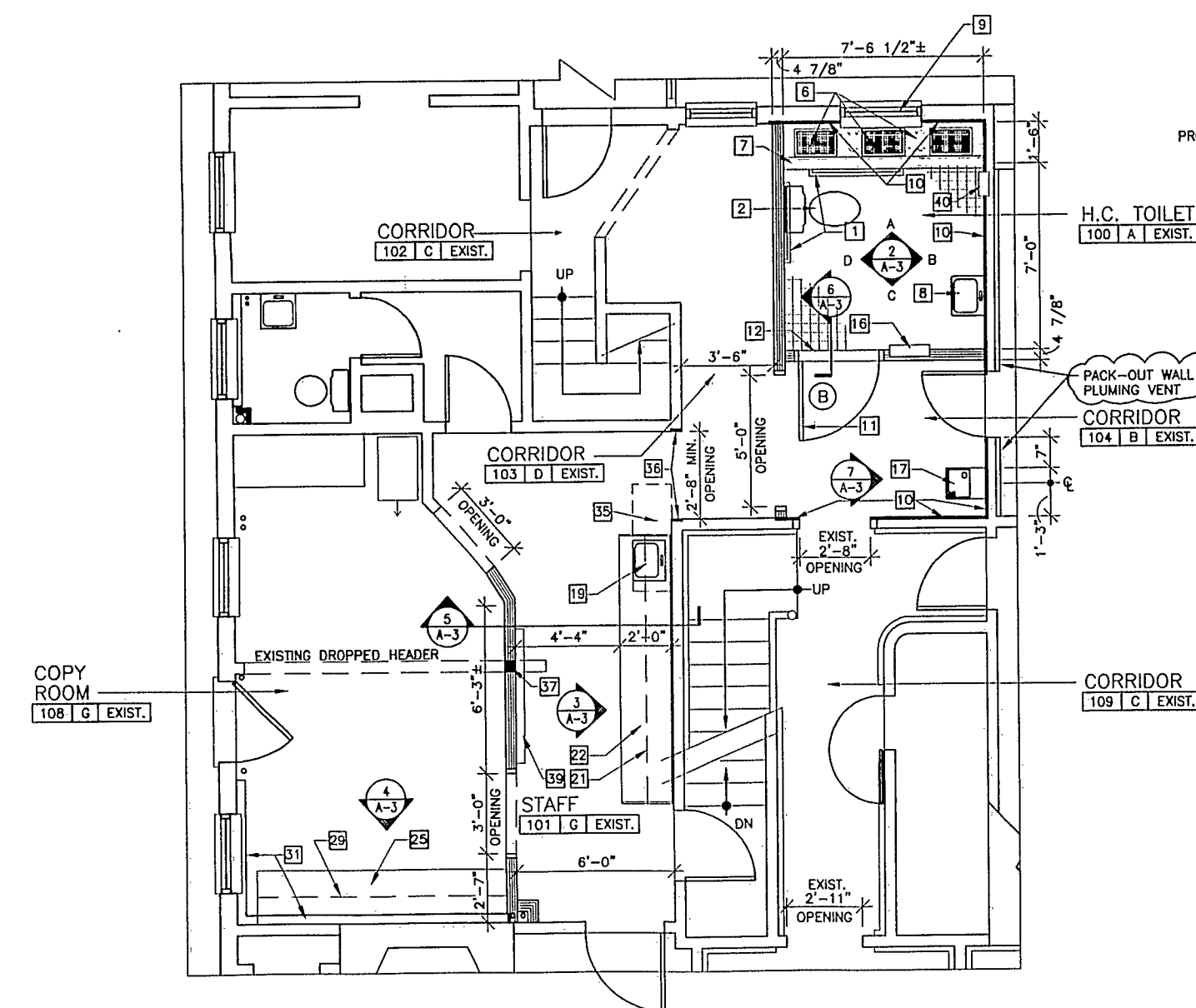
Sheet 3 of 6

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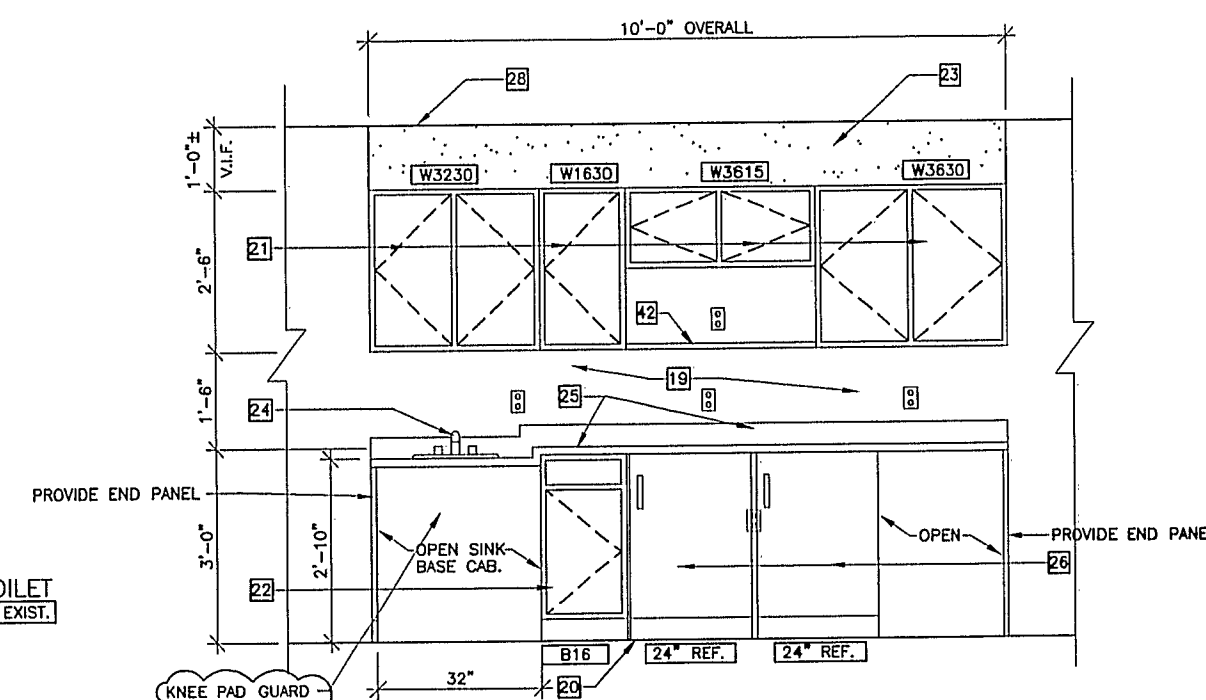
RECORD DOCUMENTS - 12/30/97



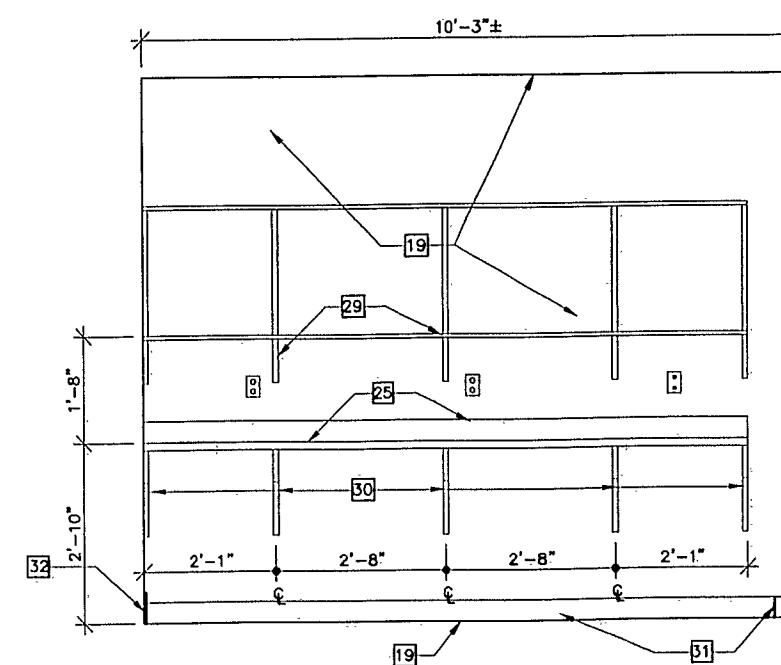
2 BATHROOM ELEVATIONS
A-3 SCALE 1/2"=1'-0"



1 ENLARGED PLAN @ H.C. TOILET/STAFF
A-3 SCALE 1/4"=1'-0"

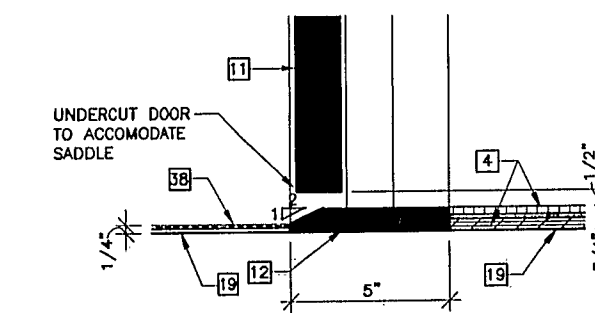


3 ELEVATION @ COUNTER
A-3 SCALE 1/2"=1'-0"

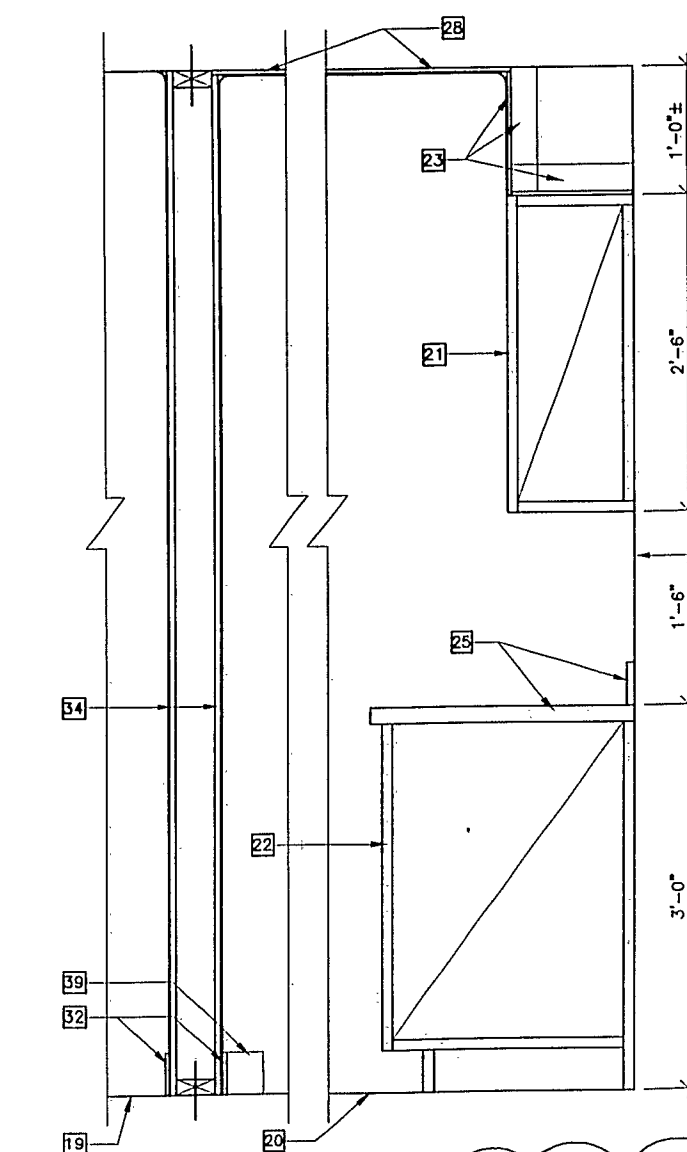


4 ELEVATION @ COUNTER
A-3 SCALE 1/2"=1'-0"

7 EWC DETAIL
A-3 SCALE 3"=1'-0"



6 SADDLE DETAIL
A-3 SCALE 3"=1'-0"



5 SECTION @ CORRIDOR 101
A-3 SCALE 1"=1'-0"

RECORD DOCUMENTS - 12/30/97

KEYNOTES

- 1 NEW 1 1/2 INCH DIAMETER METAL GRAB BARS.
- 2 NEW HANDICAPPED WATER CLOSET. SEE DETAIL 2/ME-1 FOR ADDITIONAL INFORMATION.
- 3 NEW CERAMIC WALL TILE.
- 4 NEW CERAMIC FLOOR TILE ON 3/8" UNDERLAYMENT.
- 5 NEW 4 INCH HIGH CERAMIC TILE BASE.
- 6 NEW 3/4 INCH PLYWOOD SHELF WITH METAL GRILLES AND 1 INCH DIAMETER HALF ROUND EDGE TRIM ON 2X3 WOOD STUD FRAMING.
- 7 NEW 2X4 WOOD STUD LOW WALL WITH 1/2 INCH PLYWOOD ON EACH SIDE AND 1X6 WOOD CAP. STUDS AT 16 INCHES ON CENTER.
- 8 NEW HANDICAPPED LAVATORY. SEE DETAIL 2/ME-1 FOR ADDITIONAL INFORMATION.
- 9 EXISTING WINDOW TO REMAIN. REINSTALL WOOD TRIM AFTER NEW WALLBOARD AND PLASTER FINISH IS INSTALLED. PAINTED.
- 10 NEW 5/8" PLASTER VENEER GYPSUM BASE ON EXISTING STUDS WITH PLASTER VENEER FINISH.
- 11 NEW DOOR. SEE DRAWING A-1 FOR ADDITIONAL INFORMATION.
- 12 NEW MARBLE THRESHOLD.
- 13 EXISTING RADIATOR TO REMAIN.
- 14 EXISTING PLASTER CEILING. PATCH AND REPAIR AS REQUIRED.
- 15 NEW MIRROR.
- 16 NEW PAPER TOWEL DISPENSER/DISPOSAL UNIT.
- 17 NEW HANDICAPPED ELECTRIC WATER COOLER. SEE DETAIL 2/ME-1 FOR ADDITIONAL INFORMATION.
- 18 NEW TOILET PAPER DISPENSER.
- 19 EXISTING CONSTRUCTION TO REMAIN (ADD PLYWD UNDERLAYMENT AS REQUIRED).
- 20 NEW VINYL COMPOSITION FLOOR TILE.
- 21 NEW WALL CABINETS. SEE DETAIL 3/A-3 FOR SIZES.
- 22 NEW BASE CABINETS. SEE DETAIL 3/A-3 FOR SIZES.
- 23 NEW 3/8" VENEER PLASTER GYPSUM BASE SOFFIT WITH PLASTER VENEER ON 2 X 3 WOOD STUD FRAMING @ 16" O.C.
- 24 NEW SINK. SEE DRAWING ME-1 FOR ADDITIONAL INFORMATION.
- 25 NEW PLASTIC LAMINATE COUNTERTOP AND 4 INCH HIGH BACKSPLASH.
- 26 NEW UNDERCOUNTER REFRIGERATOR. CONTRACTOR TO COORDINATE DIMENSIONS WITH FIELD CONDITIONS.
- 27 EXISTING PLASTER WALL. PATCH AS REQUIRED BY NEW CONSTRUCTION.
- 28 NEW 3/8" VENEER PLASTER GYPSUM BASE WITH VENEER PLASTER FINISH ATTACHED TO EXISTING PLASTER CEILING.
- 29 NEW 3/4 INCH THICK X 12 INCH DEEP WOOD SHELF WITH SUPPORTS @ 32" O.C.
- 30 NEW 1 INCH THICK WOOD SUPPORTS WITH PLASTIC LAMINATE COVERING. SEE DETAIL 4/A-3 FOR PLACEMENT.
- 31 EXISTING BASE BOARD RADIATOR TO REMAIN.
- 32 NEW WOOD BASE TO MATCH EXISTING.
- 33 NEW SOUND BATT ATTENUATION BLANKETS.
- 34 NEW 5/8" VENEER PLASTER GYPSUM BASE WITH VENEER PLASTER FINISH ON 2 X 4 INCH WOOD STUDS @ 16" O.C.
- 35 REPLACE SUBFLOOR WITH MATERIALS TO MATCH EXISTING.
- 36 PROVIDE NEW BLOCKING AND WOOD TRIM AT OPENING.
- 37 PROVIDE POST TO SUPPORT CANTILEVERED HEADER.
- 38 NEW CARPET.
- 39 RELOCATED BASEBOARD HEATER.
- 40 NEW SANITARY NAPKIN DISPOSAL UNIT.
- 41 NEW METAL GRILLES AND 1 INCH DIAMETER HALF ROUND EDGE TRIM.
- 42 NEW 15" DEEP WOOD SHELF.

Project
BARRIER FREE RENOVATIONS
FOR
PINELANDS COMMISSION OFFICE
NEW LISBON, NEW JERSEY

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Drawing
**ENLARGED PLAN,
INTERIOR ELEVATIONS,
AND SECTION**

L & G No. 96525

Drawing No.

DBC NO. P0770-00

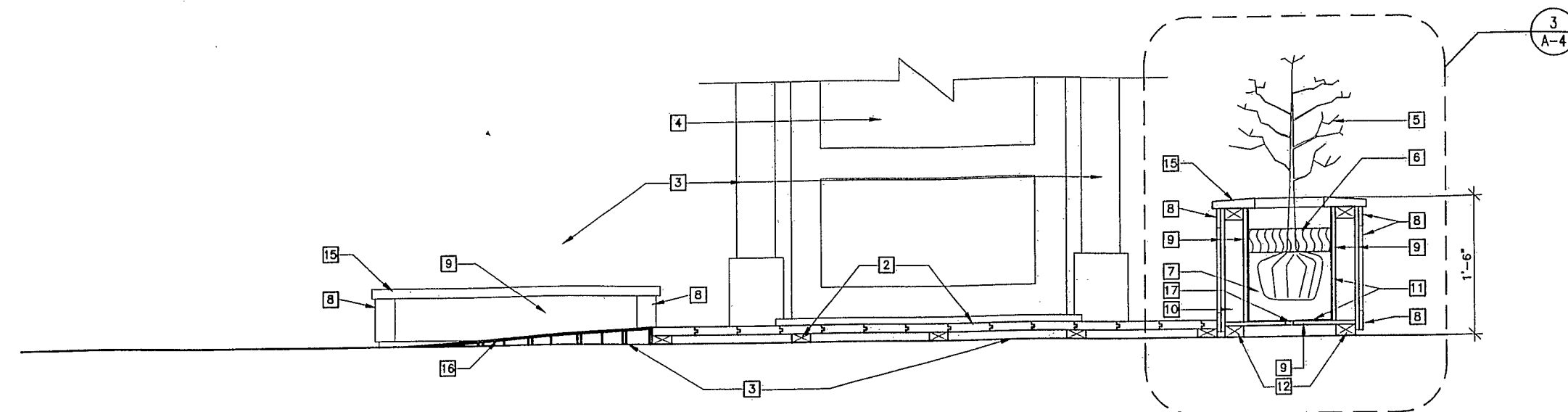
Date 11 OCTOBER 1996

Rev. 18 NOVEMBER 1996

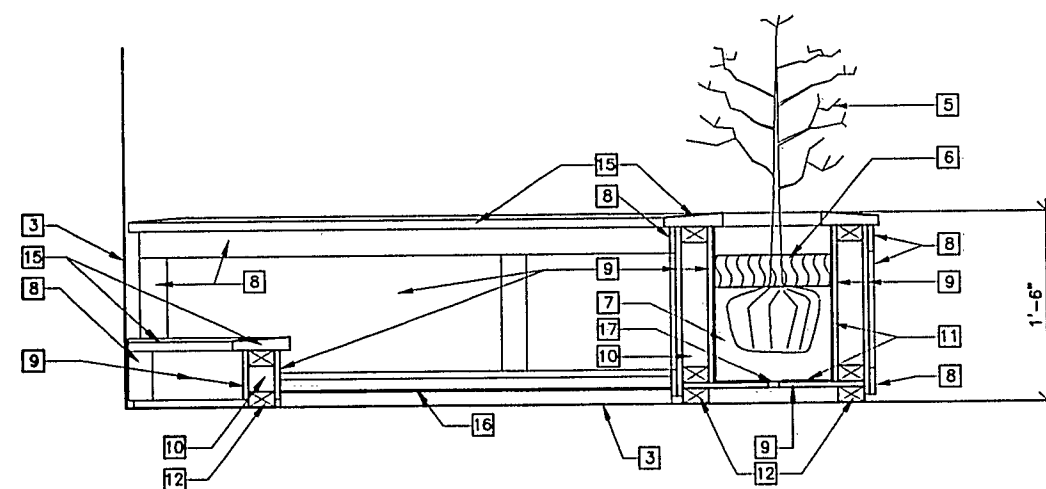
Rev. 13 DECEMBER 1996

A-3

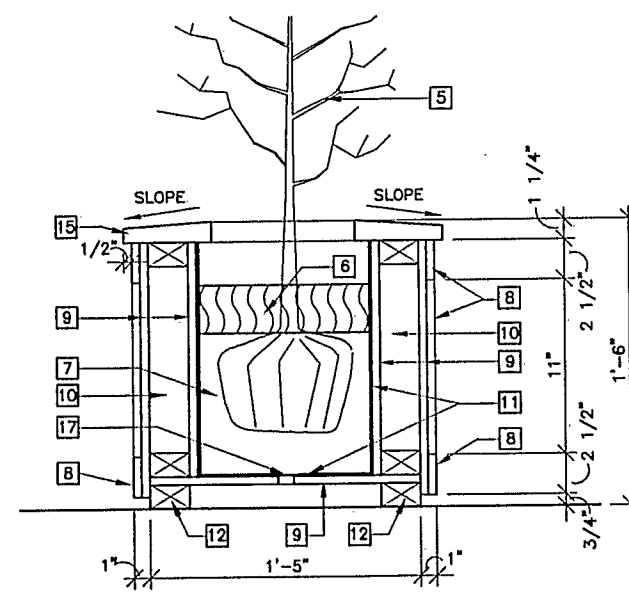
Sheet 4 of 6



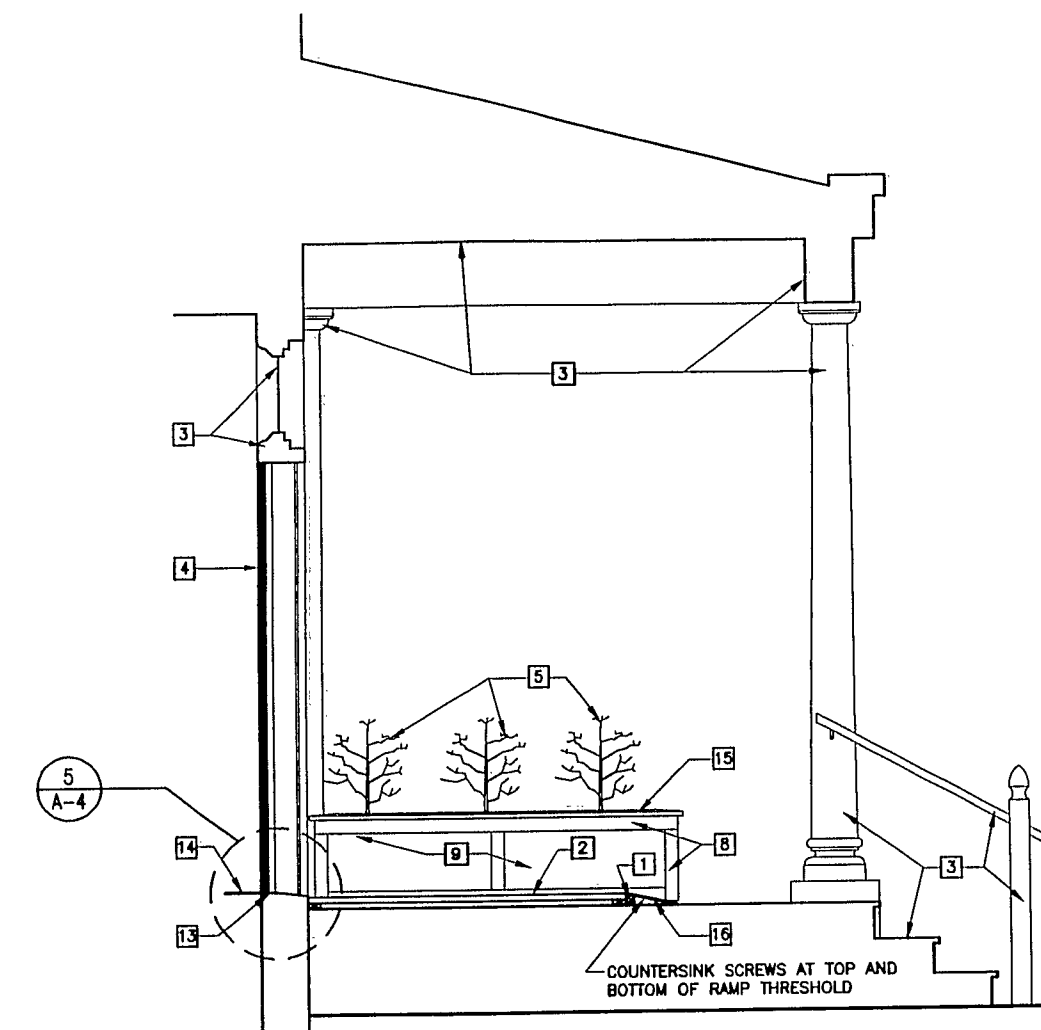
1 SECTION @ RAISED PORCH
A-4 SCALE 1"=1'-0"



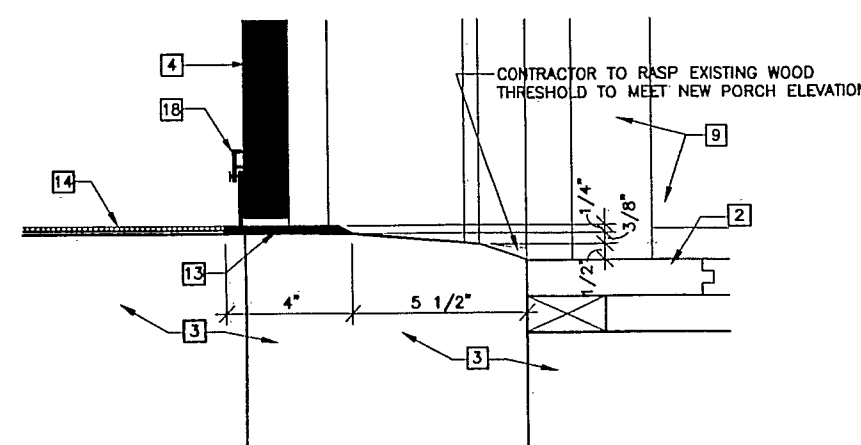
2 SECTION @ RAISED PORCH
A-4 SCALE 1"=1'-0"



3 PLANTER DETAIL
A-4 SCALE 1 1/2"=1'-0"



4 SECTION @ RAISED PORCH
A-4 SCALE 1/2"=1'-0"



5 THRESHOLD DETAIL
A-4 SCALE 3"=1'-0"

KEYNOTES

- 1 NEW WOOD BLOCKING.
- 2 NEW 5/4 X 8 INCH TAG WOOD DECKING ON 5/4 X 3 WOOD SLEEPERS PLACED HORIZONTALLY @ 16" O.C. NAILED TO EXISTING PORCH. PAINT.
- 3 EXISTING CONSTRUCTION TO REMAIN. PREPARE AND PAINT.
- 4 NEW DOOR. SEE DRAWING A-1 FOR ADDITIONAL INFORMATION.
- 5 NEW SHRUBS, BY OWNER.
- 6 NEW TOPSOIL MIX - 6 INCH DEPTH MINIMUM.
- 7 NEW PLANTING BACKFILL MIX.
- 8 NEW 1 X 3 INCH PLYWOOD TRIM BOARD. PAINT.
- 9 NEW 1/2 INCH EXTERIOR GRADE PLYWOOD. PAINT. (PROVIDE PRESSURE TREATED PLYWOOD ON INNER LAYER OF PLANTERS.)
- 10 NEW 2 X 3 INCH WOOD STUD FRAMING @ 16" O.C.
- 11 NEW WATERPROOF MEMBRANE.
- 12 NEW 2 X 3 INCH WOOD PLATE 22 INCHES LONG WITH 2" SPACER @ 24" O.C.
- 13 NEW ALUMINUM THRESHOLD.
- 14 NEW CARPET.
- 15 NEW 5/4 X 8 INCH WOOD CAP. PAINT.
- 16 NEW ALUMINUM MODULAR RAMP THRESHOLD TO PROVIDE SMOOTH TRANSITION TO PORCH. (SLOPE 1:12 MAX).
- 17 2 INCH DIAMETER DRAIN HOLE.
- 18 NEW WEATHERSTRIPPING.

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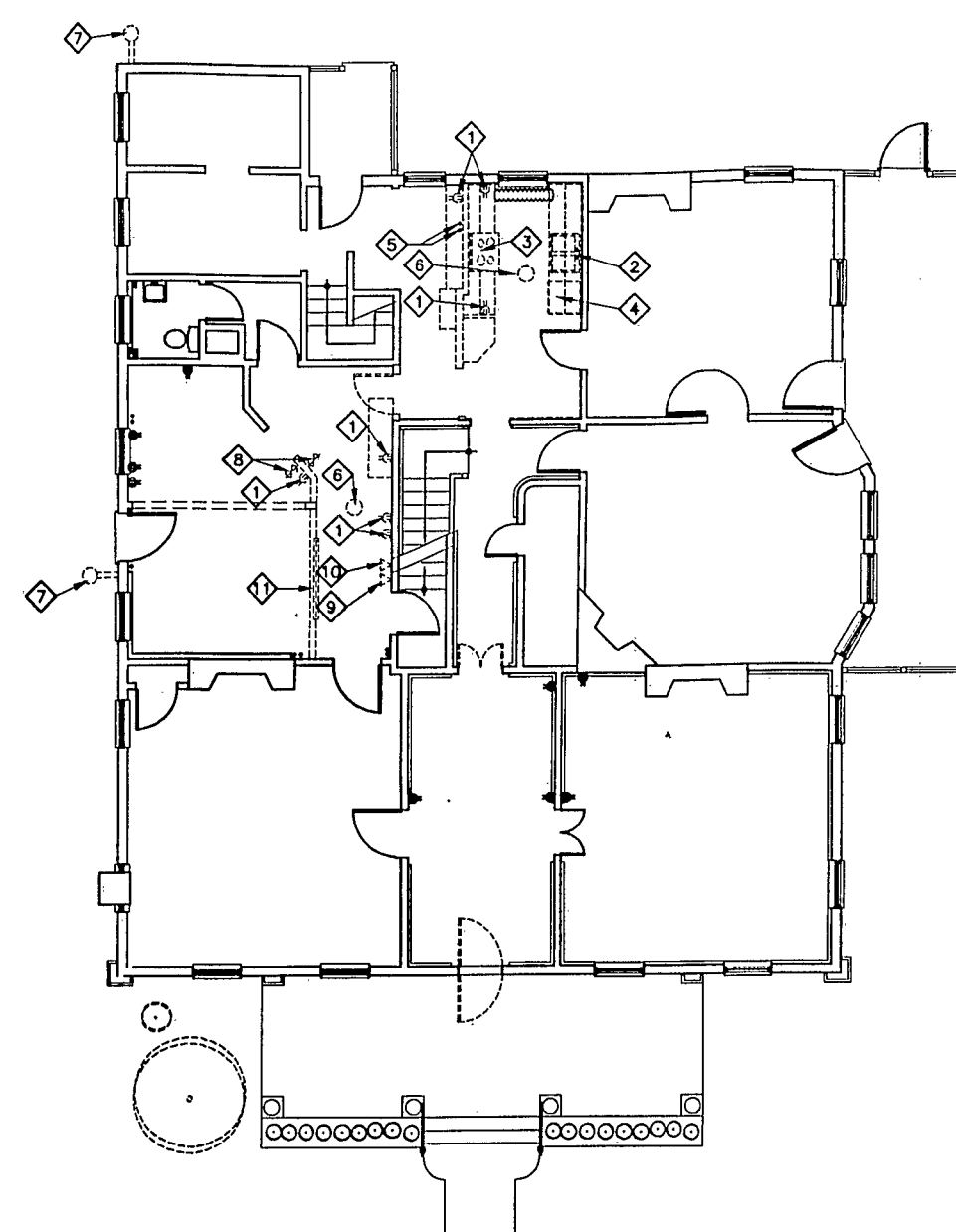
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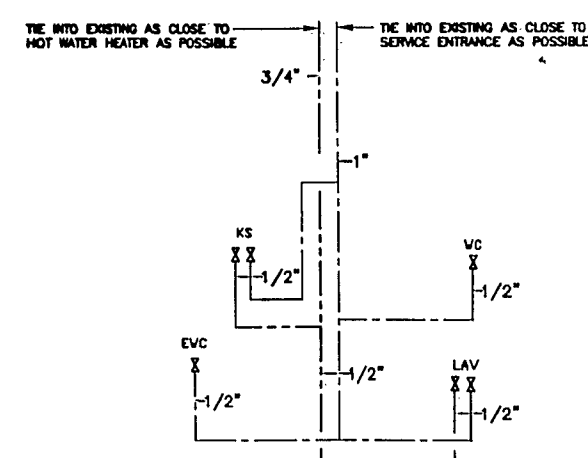
Drawing
SECTIONS AND DETAILS

RECORD DOCUMENT NOTE
THESE RECORD DOCUMENTS HAVE BEEN PREPARED
BASED ON INFORMATION PROVIDED BY PLANNING CONSTRUCTION
COMPANY ON (12/18/97). LAMMEY & GIORGIO HAS NOT
VERIFIED THE ACCURACY AND/OR COMPLETENESS OF
THIS INFORMATION AND SHALL NOT BE RESPONSIBLE
FOR ANY ERRORS OR OMISSIONS WHICH MAY BE
INCORPORATED HEREIN AS A RESULT.
RECORD DOCUMENTS - 12/30/97

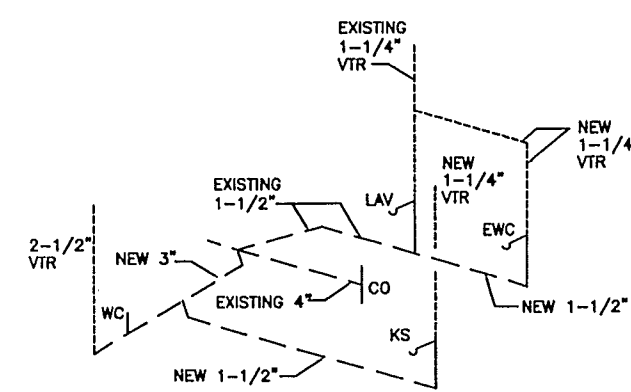
L & G No.	96525	Drawing No.	A-4
DBC NO.	P0770-00	Date	11 OCTOBER 1996
Rev.	18 NOVEMBER 1996	Rev.	13 DECEMBER 1996
Sheet	5	of	6



1
ME-1
MECHANICAL/ELECTRICAL
DEMOLITION PLAN
SCALE 1/8" = 1'-0"



3
ME-1
WATER SUPPLY
RISER DIAGRAM
NO SCALE



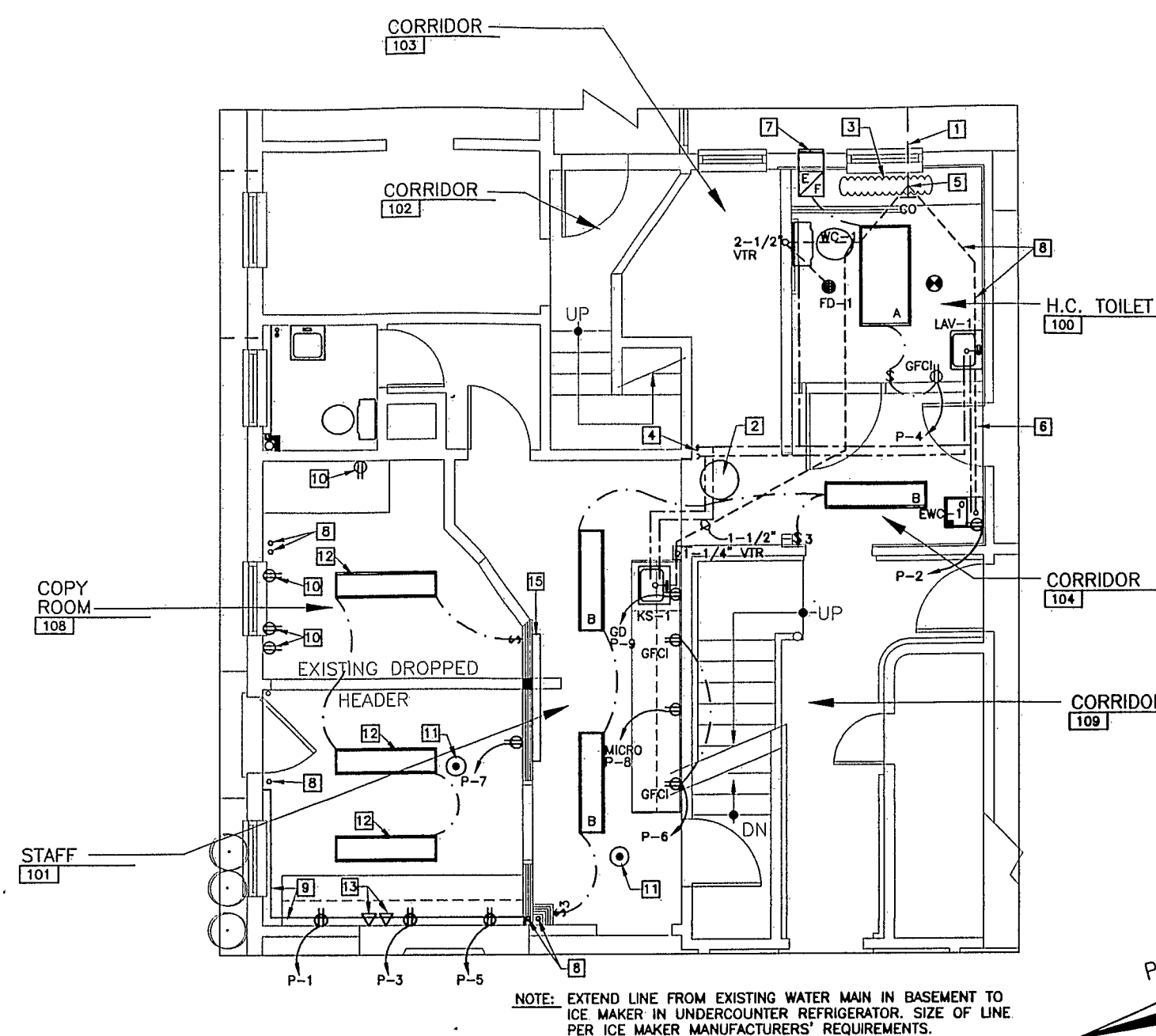
4
ME-1
SANITARY
RISER DIAGRAM
NO SCALE

PLUMBING FIXTURE SCHEDULE			PIPING		
FIXTURE	DESCRIPTION - MFR. STYLE & TYPE, OR APPROVED EQUAL		DRAIN	CW	HW
WC-1	WATER CLOSET - WHITE VITREOUS CHINA, AMERICAN STANDARD CADET 17" ELONGATED #2188.100, PRESSURE FLUSH AND #5324.019 SEAT (1.5 GAL/FLUSH)		3"	1/2"	---
LAV-1	LAVATORY - AMERICAN STANDARD LUCERNE 0355.912 WITH AMERICAN STANDARD RELIANT FAUCET #2385.463 SINGLE LEVER W/ GRID DRAIN (2.2 GAL/MINUTE)		1-1/2"	1/2"	1/2"
FD-1	FLOOR DRAIN - 5" ROUND STRAINER EQUAL TO J.R. SMITH 2005A WITH NICKEL BRONZE TOP, PROVIDE DEEP SEAL TRAP		2"	---	---
EWC-1	ELECTRIC WATER COOLER - CABO/ANSI A117.1 COMPLIANT, ELKAY EBFA-4		---	1/2"	---
KS-1	KITCHEN SINK - STAINLESS STEEL / SINGLE BOWL, ELKAY LRAO 2521-65-3, 6.5" DEEP W/ SINGLE LEVER LK4100 FAUCET & LK-1B DRAIN OUTLET FITTING		1-1/2"	1/2"	1/2"

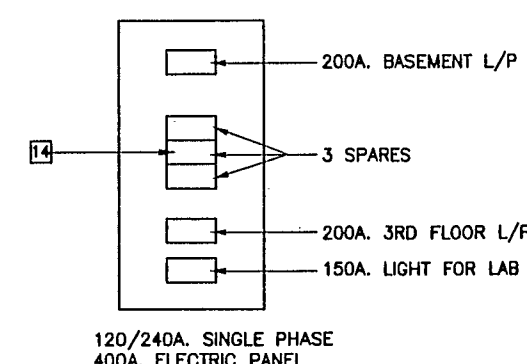
NOTE: 1. PROVIDE GARBAGE DISPOSAL UNIT, IN-SINK-ERATOR, 1/2 HP., MODEL - BADGER #5, AND WATER FILTER, TELEDYNE, IN FAUCET FILTER FOR CHLORINE, TASTE, AND ODOR, MODEL - INSTAPURE, FOR KITCHEN SINK.
2. ALL WORK SHALL COMPLY WITH WATER CONSERVATION REQUIREMENTS AS STATED IN N.J. U.C.C. 5:23-3.15(B) ALL.

LIGHTING FIXTURE SCHEDULE					
SYMBOL	MFR. STYLE & TYPE, OR APPROVED EQUAL	NUMBER AND TYPE OF LAMP	VOLT	MOUNTING	REMARKS
A	2'x4' FLUORESCENT METALUX 2M-240A	2-F0327B	120	SURFACE	ACRYLIC PRISMATIC LENS
B	1'x4' FLUORESCENT METALUX MC-240A	2-F0327B	120	SURFACE	ACRYLIC PRISMATIC LENS
C	STONCO LP2150	150 HPS	120	SURFACE	PHOTO CONTROL

PLUMBING LEGEND	
SYMBOL	DESCRIPTION AND/OR SPECIFICATION
----	NEW DOMESTIC HOT WATER
----	NEW DOMESTIC COLD WATER
----	NEW SANITARY PIPING BELOW FLOOR
----	NEW SANITARY PIPING ABOVE FLOOR
----	NEW VENT PIPING
AR	AS REQUIRED
⊗	GATE VALVE
⊕	UNION
TYP	TYPICAL
→	PIPE DROP
⊙	PIPE RISE
⊖	CLEANOUT



2
ME-1
MECHANICAL/ELECTRICAL
FLOOR PLAN
SCALE 1/4" = 1'-0"



5
ME-1
ELECTRIC
PANEL ELEVATION
NO SCALE

ELECTRICAL PANEL LDP 'SA' 120/240V 1φ 3W 100A MLO						
NO.	SERVES	WIRE SIZE	TRIP	TRIP	WIRE SIZE	SERVES
1	RECEPTACLE	#12	20	20	#12	WATER COOLER
3	RECEPTACLE	#12	20	20	#12	TOILET ROOM
5	RECEPTACLE	#12	20	20	#12	COUNTER RECP.
7	COPIER	#12	20	20	#12	MICROWAVE
9	GARBAGE DISPOSAL	#12	20	20	#12	EXTERIOR LIGHTS
11	SPACE					SPACE
13	SPACE					SPACE
15	SPACE					SPACE
17	SPACE					SPACE
19	SPACE					SPACE
21	SPACE					SPACE
23	SPACE					SPACE

RECORD DOCUMENT NOTE
BASED ON INFORMATION PROVIDED BY PLUMBING CONTRACTOR (ME-1) AND/OR ELECTRICAL CONTRACTOR (ME-2) THE USER SHALL BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT.

RECORD DOCUMENTS - 12/30/97

GENERAL NOTES

- ALL WORK TO BE DONE IN ACCORDANCE WITH NEW JERSEY UNIFORM CONSTRUCTION CODE, NATIONAL STANDARD PLUMBING CODE, AND NATIONAL ELECTRIC CODE.
- CONTRACTOR TO PROVIDE AND INSTALL (2) NEW EXTERIOR LIGHT FIXTURES TO ILLUMINATE EXISTING REAR DRIVEWAY AND NEW HANDICAPPED PARKING AREA. SEE FIXTURE SCHEDULE FOR FIXTURE TYPE. LOCATION TO BE DETERMINED IN FIELD BY ARCHITECT.
- WORKING CLEARANCES SHALL BE PROVIDED AROUND THE NEW PANELBOARD PER NEC 110-16. NO PIPING, DUCT ETC. SHALL PASS THROUGH, ENTER OR RUN IN THE DEDICATED SPACE ABOVE THE PANEL LOCATION PER NEC 384-4.
- ALL WORK SHALL COMPLY WITH STATE WATER CONSERVATION REQUIREMENTS NJUCC 5:23-3.15 (B).
- ALL SWITCHES AND OUTLETS SHOWN SHALL BE NEW, UNLESS OTHERWISE NOTED.

DEMOLITION NOTES

- REMOVE EXISTING OUTLET. MAINTAIN CIRCUIT CONTINUITY.
- REMOVE EXISTING SINK. REUSE PIPING FOR NEW LAVATORY.
- REMOVE EXISTING RANGE.
- REMOVE EXISTING DISHWASHER. REUSE PIPING FOR NEW DRINKING FOUNTAIN.
- REMOVE EXISTING ABANDONED PIPING.
- REMOVE EXISTING LIGHT FIXTURE. REUSE WIRING FOR NEW LIGHT FIXTURE.
- REMOVE EXISTING EXTERIOR LIGHTING FIXTURE. SEE GENERAL NOTE #2 REGARDING NEW EXTERIOR LIGHT FIXTURES.
- REMOVE EXISTING SWITCH.
- RELOCATE EXISTING FAX LINE.
- RELOCATE EXISTING PHONE LINE.
- RELOCATE EXISTING BASEBOARD HEATER.

KEYNOTES

- EXISTING 4 INCH SANITARY LINE, LOCATED IN BASEMENT.
- EXISTING HOT WATER HEATER, LOCATED IN BASEMENT.
- EXISTING RADIATOR AND PIPING TO REMAIN.
- TIE NEW DOMESTIC WATER LINES INTO EXISTING LINES.
- TIE NEW SANITARY WASTE LINES INTO EXISTING WASTE LINES.
- PROVIDE NEW 1-1/2" SANITARY LINE TO NEW DRINKING FOUNTAIN. CONNECT TO EXISTING 1-1/2" SANITARY LINE.
- NEW 60 CFM CABINET TYPE EXHAUST FAN. PROVIDE 10x4 DUCT THROUGH WALL TO WALL CAP. PAINT TO MATCH EXISTING SIDING.
- EXISTING PIPING TO REMAIN.
- EXISTING BASEBOARD HEATER TO REMAIN.
- EXISTING OUTLET TO REMAIN.
- EXISTING SMOKE DETECTOR TO REMAIN.
- EXISTING LIGHTING AND WIRING TO REMAIN.
- RELOCATED FAX AND PHONE LINES. PROVIDE NEW JAX.
- PROVIDE NEW 50A, 2P, CIRCUIT BREAKER AND 3/4" 6, 1/2 10 CUG. IN CONDUIT TO FEED NEW SUBPANEL 'SA'. LOCATE 'SA' NEAR MAIN PANEL IN BASEMENT.
- RELOCATED EXISTING BASEBOARD HEATER, TIE INTO EXISTING LINES.

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Drawing
**MECHANICAL & ELECTRICAL
PLANS, DIAGRAMS, AND
SCHEDULES**

L & G No. 96525

Drawing No.

DBC NO. P0770-00

Date 11 OCTOBER 1996

Rev. 18 NOVEMBER 1996

Rev. 13 DECEMBER 1996

ME-1

Sheet 6 of 6